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Harbury self-build site

The site is located off of Bush Heath Lane in the village of Harbury. The proposal is for six self-build units of mixed tenure with some landscaping. The site offers the opportunity for sustainable development; through place-making, understanding the local vernacular and positive community building within the new development and the surrounding area.

The site encompasses some retained and new trees and bushes to act as a privacy barrier. A new site access South of the existing entrance gate off of Bush Heath Lane is proposed; this will avoid additional vehicles down the existing access road off North of the site.

In order to enable a sustainable development with a local identity and character, a Design Code will be developed alongside the master-plan. The Design Code will provide information for self-builders to follow such as; a material palette, housing form, time-scales and permitted build areas.

It is important to note the character and heritage of the surrounding area of Harbury; including the style of buildings, conservation and landscape areas. These will need to be carefully considered during the development of the master-plan and the Design Code.

The Design Code should be seen as a point of reference for the ongoing design process. It should be read in conjunction with accompanying planning documents.



Scale 1:500 @ A3

Design Process

A collaborative design process took place while developing the site layout and plot types.



Iteration 1- Large bend in road to allow for 6th Northern plot, new trees North of plots 2 and 3 to act as buffer between site and existing houses.

Key Design Decisions

Shared access for all residents

New trees to act as visual and sound buffer between proposed and existing

All plots to connect to buried waste and services, located alongside the access road

Six self-build plots of varying sizes

All plots on the southern boundary to benefit from solar gain to south facing gardens



The process

All plots on the site are self-build plots, which means that the homes are to be built by the plot owners. They may also be custom-built. The Design Code and Plot Passports are in place to guide plot owners through the planning and construction processes.

Plot owners are expected to have their designs checked and approved by the vendor prior to submitting their designs to the local authority; in addition to completing the activities required within the given timescales.

The Design Code provides guidelines for the site as a whole and information that is applicable to all plots. The Plot Passports act as a key point of reference for the owner of an individual plot. They present further information that is specific to an individual plot.

Design

After purchasing your plot, you will undergo the design process. It is during this stage that you will develop how your future home will look; as guided by the Design Code and Plot Passport. It is likely that this process will not be linear and you will likely need to seek advice from a number of professionals e.g. architects and engineers.

Before submitting your proposal to the Local Authority either via a pre-application or planning application, you will need to have your design checked and approved by the vendor. Designs

and materials should be submitted to the vendor for approval within 6 months of purchasing the plot. Reserved Matters approval should be applied for within 9 months of purchase. Proposals should be submitted with the intention of obtaining permission.

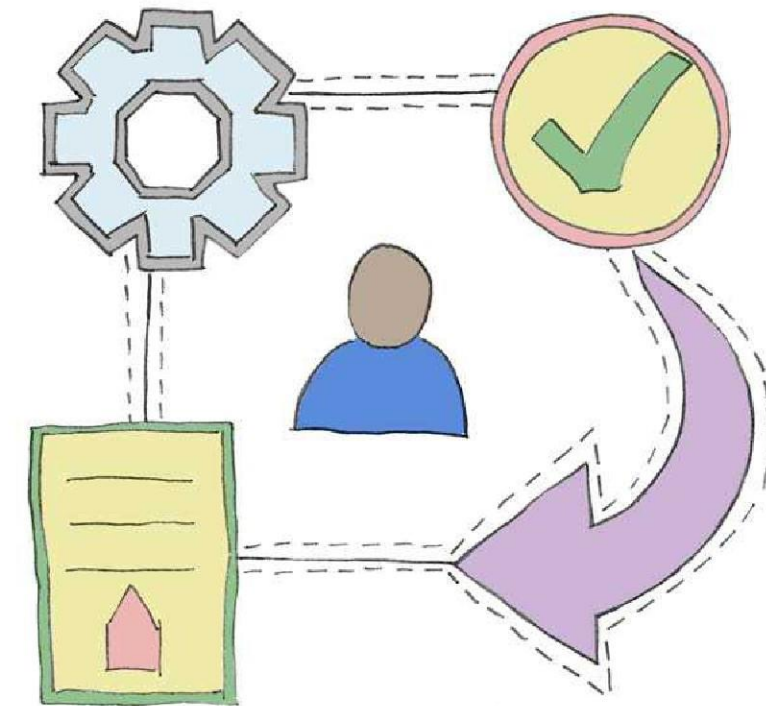
Final design must be approved by the Local Authority and any future dwelling must not cause undue harm to the local vernacular, as stipulated by, the adopted NDP and Core Strategy in consideration of the adopted development requirements SPD.

Construction

Upon receiving the relevant permissions, you will have 24 months to complete your build. This needs to take into account processes such as; building control approval, tendering, construction drawings and satisfying planning conditions. A construction programme should be submitted to the vendor detailing completion of the build within the required time-scale.

During the construction process storage of materials, vehicles and machinery must be kept within the confines of your plot and not outside of this area. Shared areas should be kept in a clear, clean condition with construction waste kept to a minimum and disposed of in appropriate manners. Shared roads should be kept clear of mud and debris.

Defining your plot boundary edge should be one of the first items to address. Fencing type can be modified in accordance with the permitted boundary treatments at a later date.



Primary materials



Red brick
Seen on houses;
walls and chimneys.



Brown plain clay tiles
Seen on the roofs of
houses throughout
local area.



Limestone
Seen on houses and
boundary walls.



Black timber lintels
Seen over windows
on buildings in the
village.



Timber frames
Timber doors and
window frames; often
painted.



Slate roof tiles
Seen on roofs in the
local area.

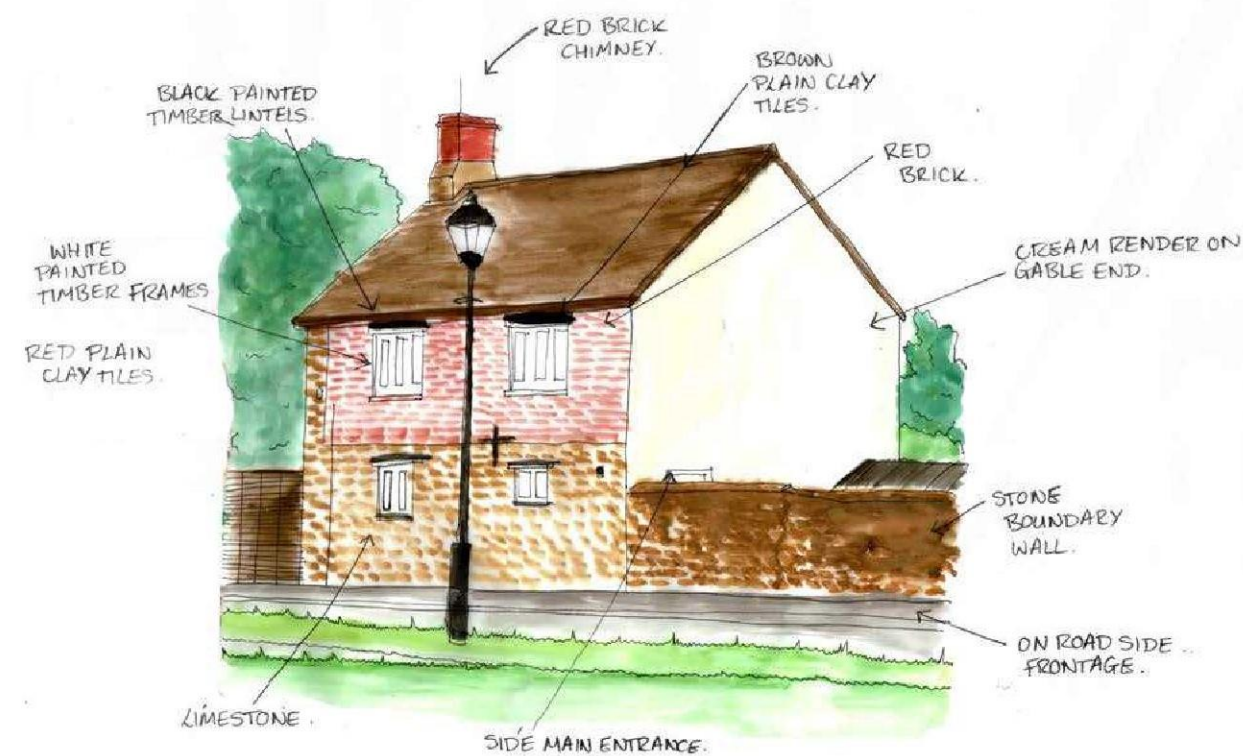
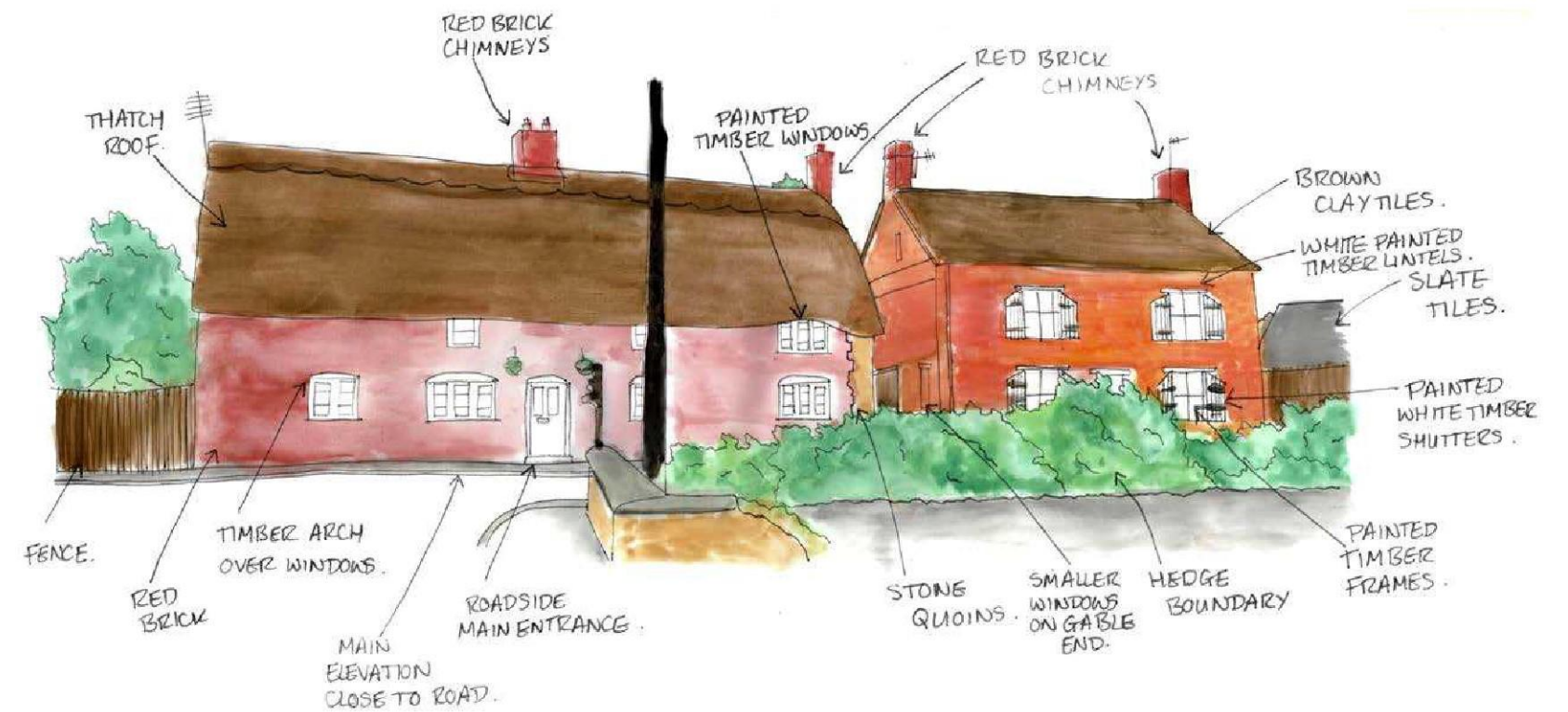
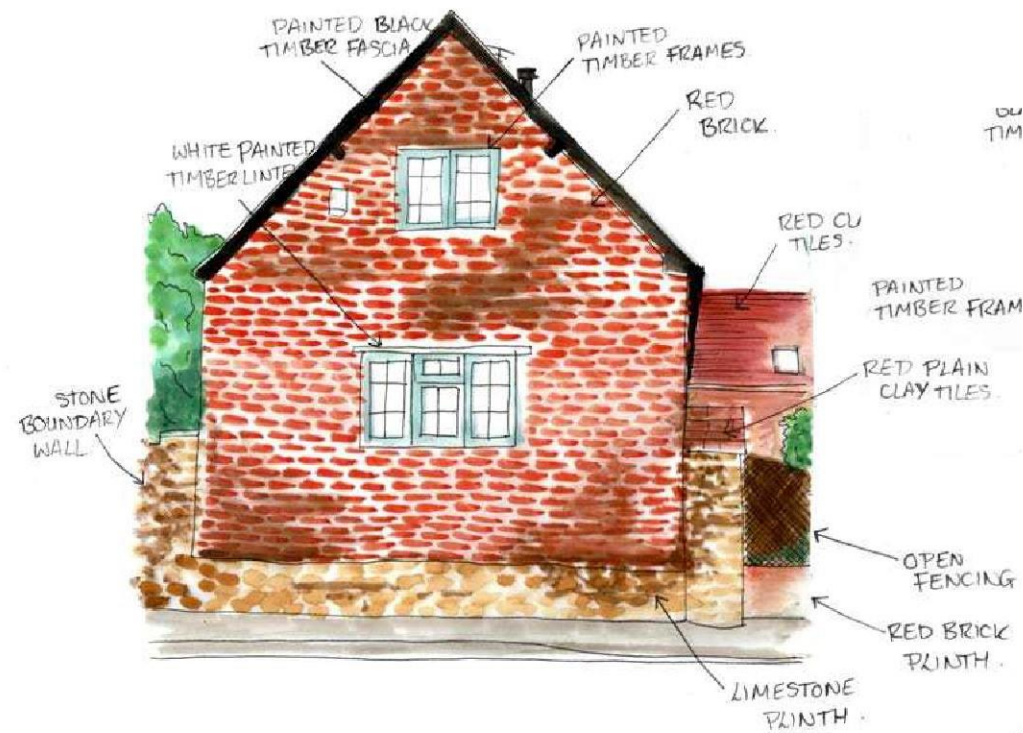


White render
Seen on external
walls.



Local vernacular study exploring form, material,
boundaries and scale.

Local vernacular studies exploring form, material, boundaries and scale.

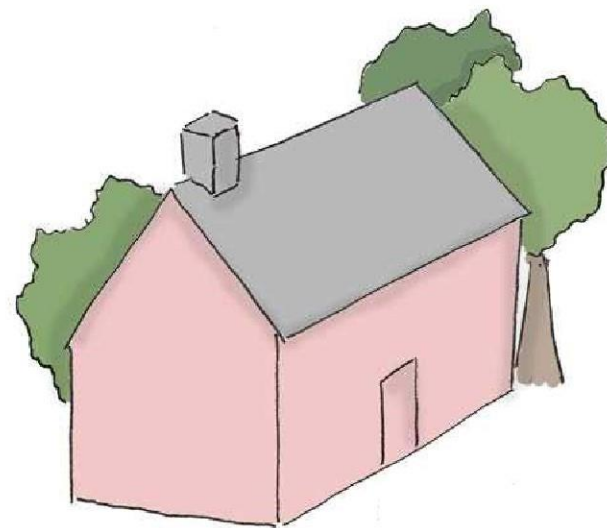


Plot types and sizes

There are six plots on the site. All are self-build plots sharing many of the same guidelines and principles, with some plots having unique variations.

This Design Code looks at an overview of the guidelines applicable to the site and plots while the Plot Passports will provide further details on individual plots.





In order for the site to be truly sustainable, adherence to the following guidelines will be strongly encouraged, in addition to Policy H.14 as outlined in the Harbury Neighbourhood Plan (p. 57). These guidelines should compliment those standards set out in UK Building Regulations.

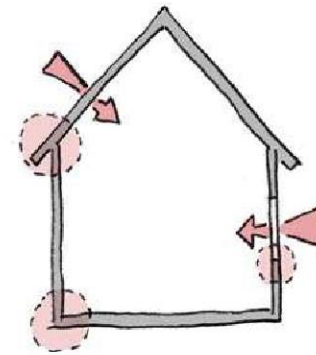
Advice should be sought from professionals where necessary.

Harbury Neighbourhood Plan

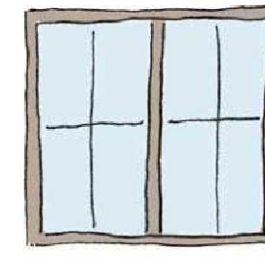
Policy H.14 - Sustainable Design and Energy Efficiency

All new development proposals will be encouraged to:

- Adopt sustainability measures promoted through the Harbury Energy Initiative and the Parish Council;
- Adopt a Fabric First approach through a higher than basic Fabric Energy Efficiency Standard target;
- Use sustainable drainage to reduce risk of flooding on site and downstream; and
- Recycle water effectively.



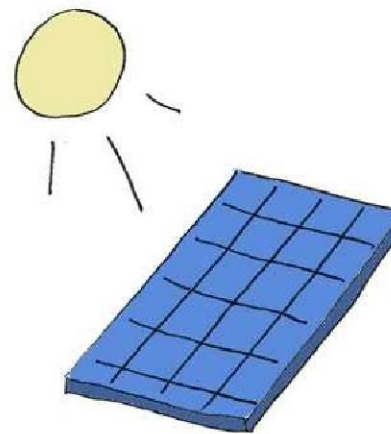
Thermal Bridging
Junctions to be carefully considered to reduce breaks in the thermal envelope



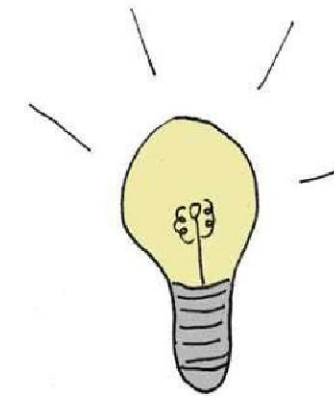
Glazing
Double or triple glazing is required for doors and windows



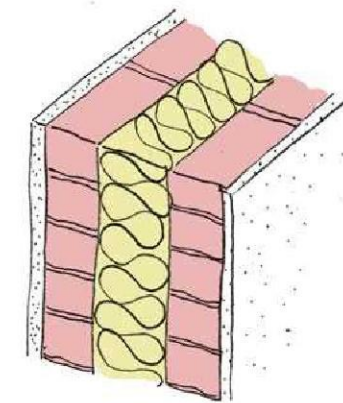
Over heating
To be kept to a minimum risk and in compliance with Approved Doc Part L



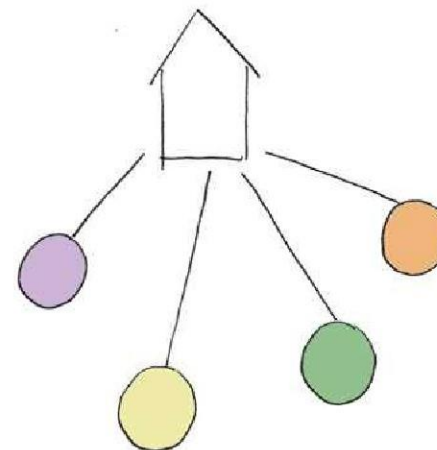
Renewables
Encouraged if appropriate for the orientation and location on the site



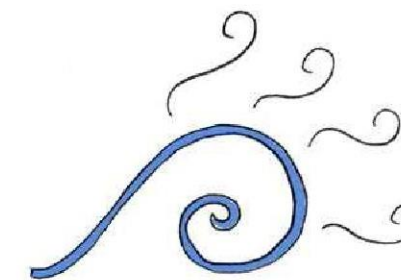
Lighting
Low energy lighting to be prioritised



Thermal Efficiency
Insulation to be used in walls, roof and floor build ups. Natural loose full fill insulation preferred over rigid boards, for improved efficiency



Local
Local materials, suppliers and services to be used where possible



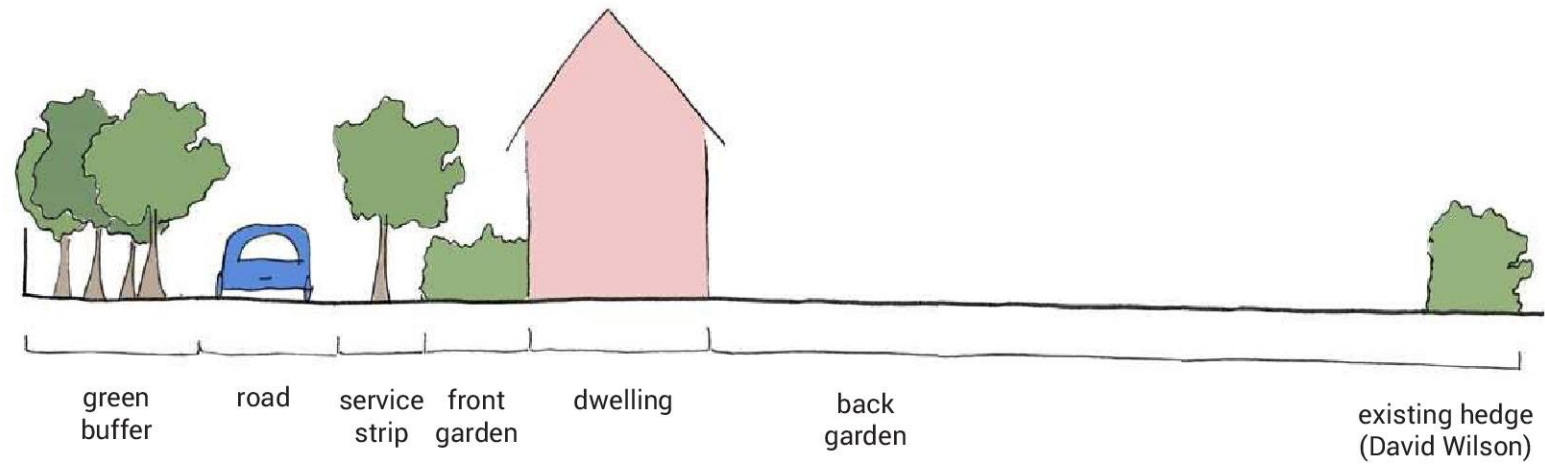
Breathability
Natural materials are encouraged to ensure a healthy building fabric



Ventilation
Well considered ventilation to maintain a healthy building and air quality

Heights

These diagrams show suggested variations on the locations, heights and form of the dwelling within the maximum height allowances.



use of loft space permitted

9m max. ridge height for dwelling

5.5m max. eaves height for dwelling

2m max. height for between plot boundary fence

existing hedge

existing hedge

road

build within the site topography and retain existing ground levels. Single storey basements within boundary would be acceptable

Build areas and boundaries

Each plot is to have one primary dwelling with additional allowances for one vehicular garage.

There are general rules for plot boundaries; see plot passports for specific details on maximum footprints.

In general;

- all buildings must be at least 4m apart, making the build area 2m away from the boundary on either side
- a single storey garage with eaves running parallel to and 1m away from the boundary, may be allowed
- On plots 2 – 5 ground floor glazing to primary rooms on side elevations to be 11m min from the plot boundary. No first floor side elevation windows except obscure glazed to non primary rooms. For plots 1 & 6 see plot passports.
- the primary dwelling must be built within, and not exceed, the maximum footprint as outlined in plot passports

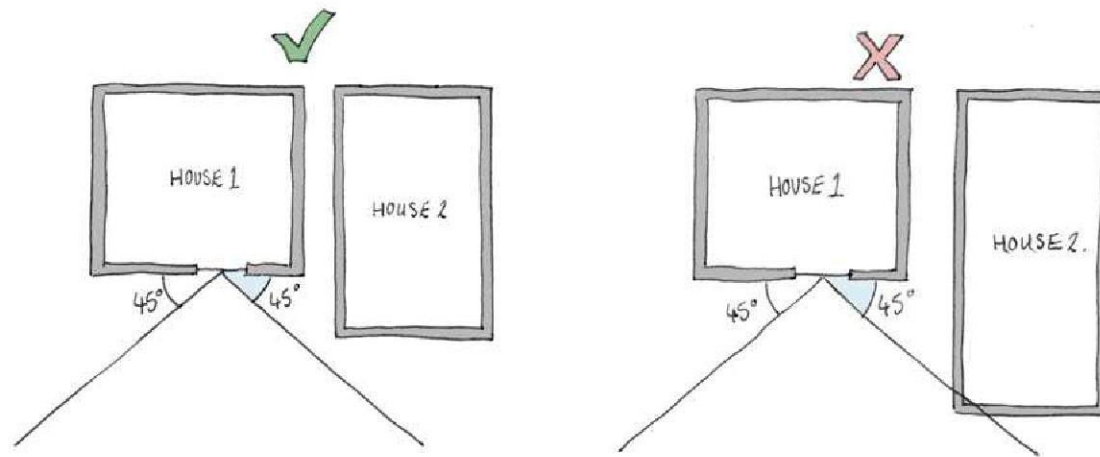
Overshadowing or Loss of Daylight

See Stratford-on-Avon District Development Requirements Supplementary Planning Document (SPD); Part C Residential Amenity
Key points;

The relative position, heights and separation of buildings should be adjusted to reduce overshadowing and loss of light to ensure that the windows of neighbouring properties enjoy reasonable day lighting.

The construction of a new building or extension which extensively blocks the sunlight to an existing properties windows or its garden should be avoided.

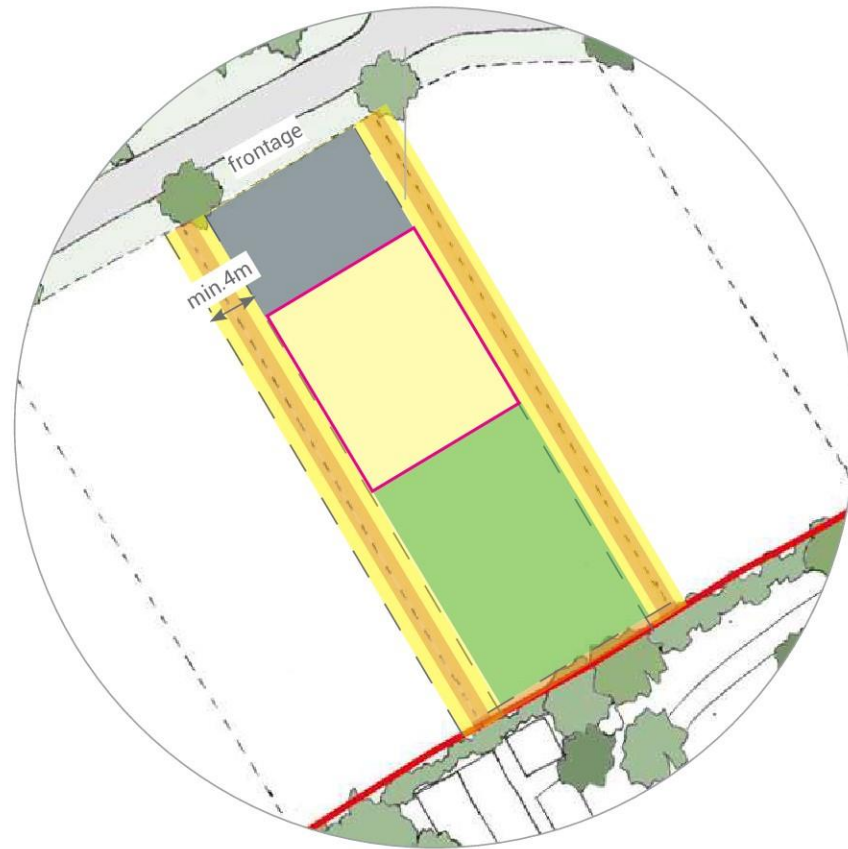
The Council uses a 45/25 degree test to ascertain whether, as a result of a proposed development, the amount of light reaching neighbouring windows is likely to be acceptable. Guidance and tables are also provided in the BRE report Site Layout Planning for Daylight and Sunlight – a Guide to Good Practice published in 2012. This guidance should be used if there is any doubt about the acceptability of proposals with regard to daylighting and sunlight.



Outbuildings

Any outbuildings must be ancillary to the principle dwelling.

Outbuildings other than one garage for each property should be located to the rear of the principle dwelling, single storey and a minimum of 2m from the property boundaries.



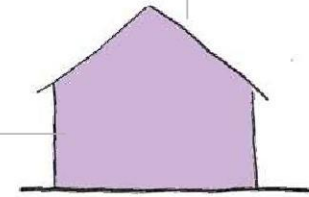
- front garden
- rear garden

Garage

Garages can be attached or detached to the main dwelling and built in accordance with SDP Part O. They can accommodate up to three cars.

Garages need to be set back at least 0.5m behind the front wall of the plot (except Plot 1).

see materials palette for
garage material options.
material choices to
compliment main dwelling



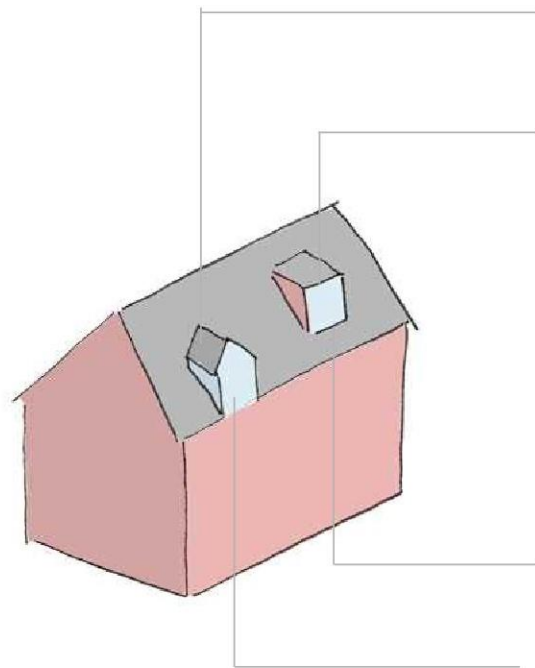
the roof space can be used
for storage and/or habitable
room

Projections

Any projections should not be overbearing to the main dwelling. They must take into consideration light and privacy of neighbouring plots. Possible projections include;

1. dormer windows
2. balconies
3. L-shaped form

1



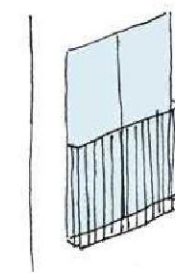
glazing on dormer cheek permitted. See 'Materials' for permitted materials

small dormer(s) set down from ridge and in from sides permitted; pitched or flat roof allowed.

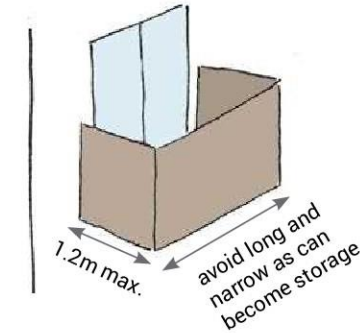
dormer(s) glazing to be in proportion to glazing on the rest of the house.

dormer(s) to be ancillary to main roof and not directly overlook neighbour plots

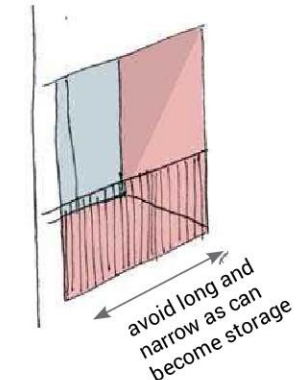
2



Juliet
Small balcony with minimal projection. Works well for floor to ceiling glazing.

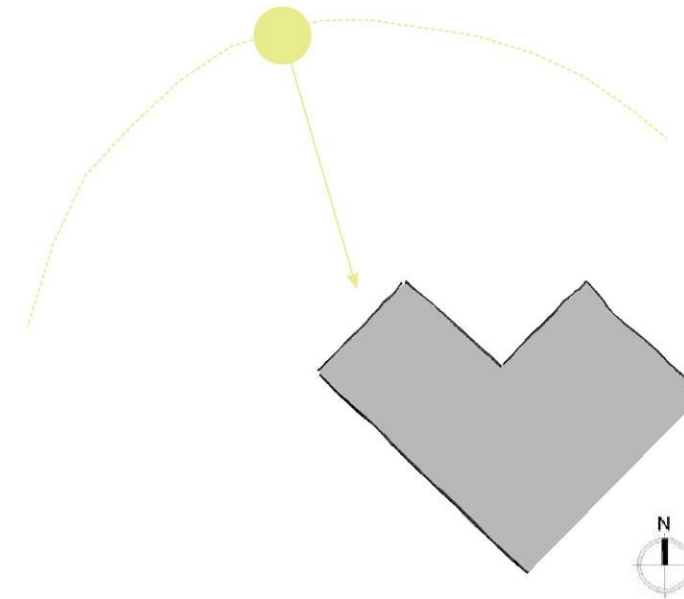


Cantilevered
Small balcony projecting away from facade



Recessed
Small balcony inset into the main building, providing a covered area

3



Projections to main dwelling must fit within the permitted build area, as per the plot passports. Those at the time of building and future extensions should respect the guidance in the Stratford-on-Avon District Development Requirements Supplementary Planning Document (SPD); Part C Residential Amenity. It is advised to consider the path of the sun when designing the form and orientation of projections.

This material palette is to inspire and compliment your design. A combination of these are desired and the chosen materials must be submitted for approval.

Facade options



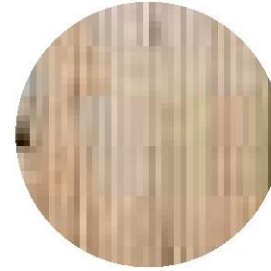
Brick
Deep red/orange to match local brick



Harbury Limestone
or similar to match local stone



White render



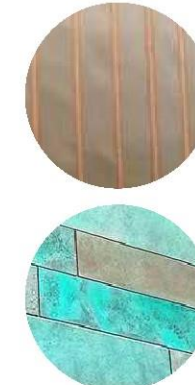
Timber



Off-white render
Any variation of an off-white/cream render



Zinc



Copper
Copper changes colour overtime; greens and browns

Roof options



Green roof



Brown or red plain clay tiles



Slate tiles



Thatch



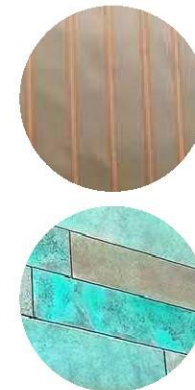
Solar panels



Zinc



Lead



Copper
Copper changes colour overtime; greens and browns

Glazing options



Timber window and door frames
Could be left natural, treated or painted



Aluminium window and door frames
Aluminium or alu-clad options



Large glazed areas
Should be considered alongside overheating and orientation of the glazing

Driveway options



Permeable paving
Various colours and patterns permitted



Permeable pavers with grass
Grass between pavers permitted; to be maintained



Gravel
Gravel permitted if retained within plot boundary

NOTE: All driveways must be permeable.

Secondary materials

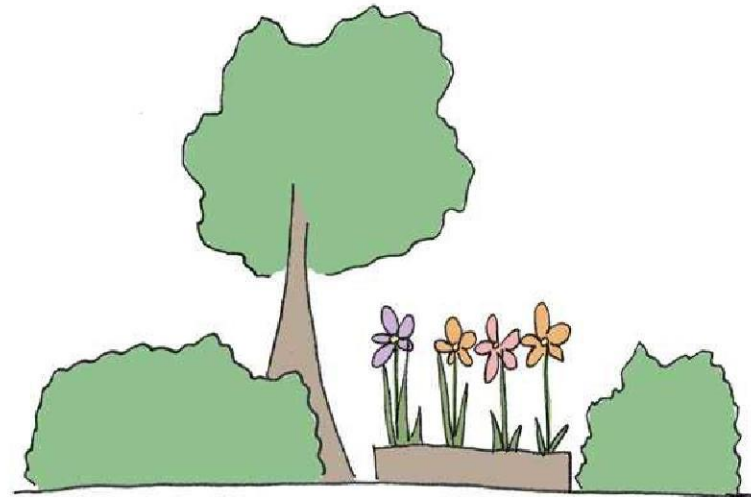


Coloured render
Small areas of coloured render permitted e.g. feature wall/porch









Site overview

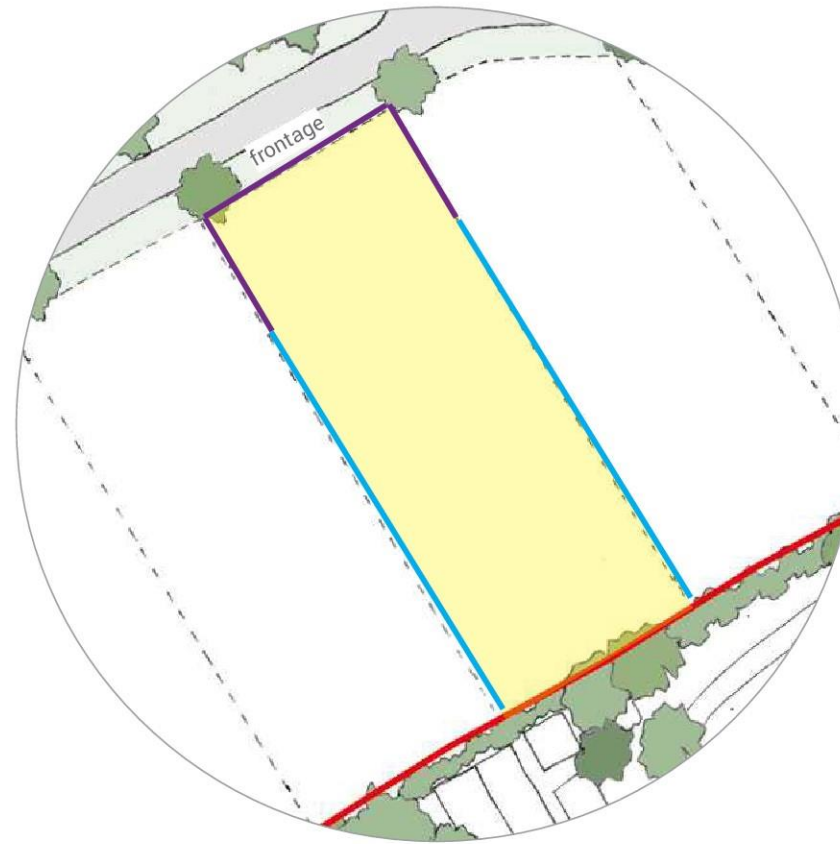
- Trees (existing) underplanted with native species and woodland wildflowers
- Trees (new). Mix of native species and orchard fruit trees.
- No street lighting or furniture along road
- Long grass; habitat for local wildlife and wildflowers
- Trees (existing)
- Hard landscaping; shared road splitting off into private driveways
- Tree boulevard; new trees of native species along short grass verge
- Attenuation pond edged with native species



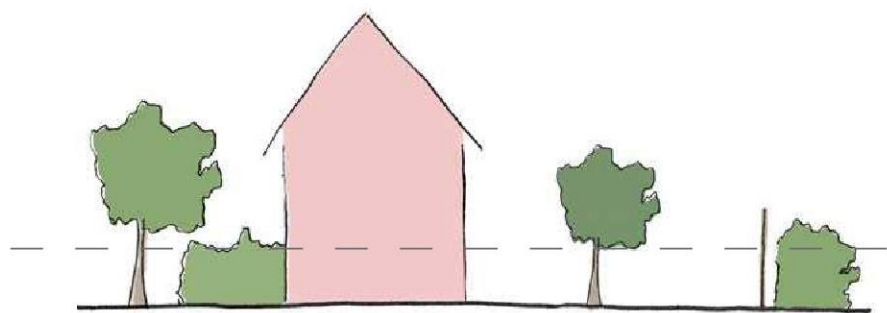
Boundary treatments

There are three types of boundary conditions that will help to define the relationship between the private and public realms.

1. frontage boundary
 2. side boundary
 3. rear boundary
- existing David Wilson hedge, additional boundary not required

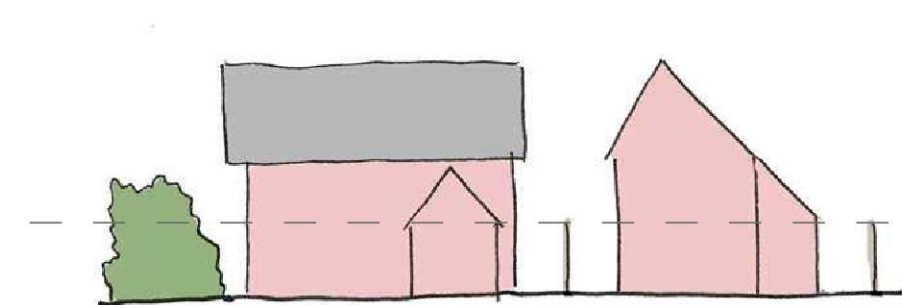


1



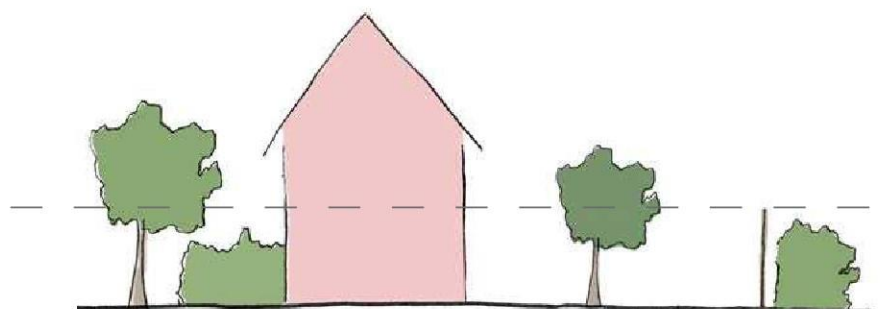
1.2m max height for frontage boundary

2



2m max height for boundary between plots

3



2m max height for rear boundary

Material palette



Close board fencing
Natural colours

2 3



Limestone wall

2 3



Continuous hedge
Leylandii not permitted

2 3



Yew hedge

1 2



Shrubs/planting
Planting allowing light to pass through

2 3



Limestone wall capped with hedge

1 2 3



Maintained flower beds
Planting allowing light to pass through

2 3



Estate railings
Simple metal horizontal railings

1 2

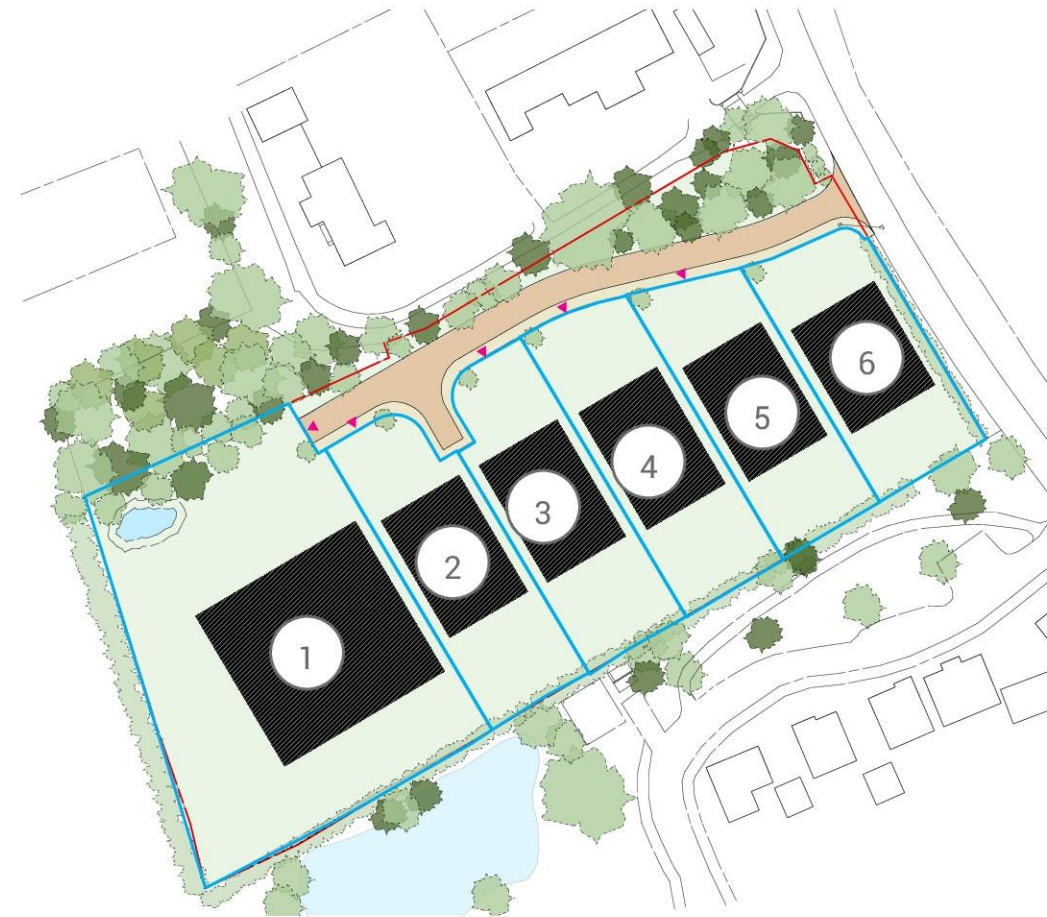


What are Plot Passports?

A Plot Passport tells you all you need to know about an individual plot of land. The Design Code applies to all plots and so the Plot Passports should be read alongside it.

Plot Passport will tell you the plot size, maximum gross internal area (GIA) and inform of any variances/further detail to the Design Code on elements such as; maximum heights and acceptable materials.

By following the Design Guide and Plot Passport, the design should be in accordance with local authority requirements. For greater design certainty, you may submit a pre-application to the local planning authority before applying for Reserved Matters Approval for each plot.



Key Information

Plot number - 1
Unit type - Detached
Max. bedrooms - 5
Plot area - 3400m2 (approx.)
Max. House GIA - 360m2

The house and garage footprints shown below are for illustrative purposes only. The main dwelling and garage designs are subject to individual choice within the fixed parameters and the approval of the LPA.

The number of bedrooms will affect the parking requirements, refer to the Local Authority's forthcoming Development Requirements SPD.

Drives and patios will be paved using permeable materials in accordance with Local Authority guidelines. Surface water from this plot and the shared roadway will be dealt with sustainably by

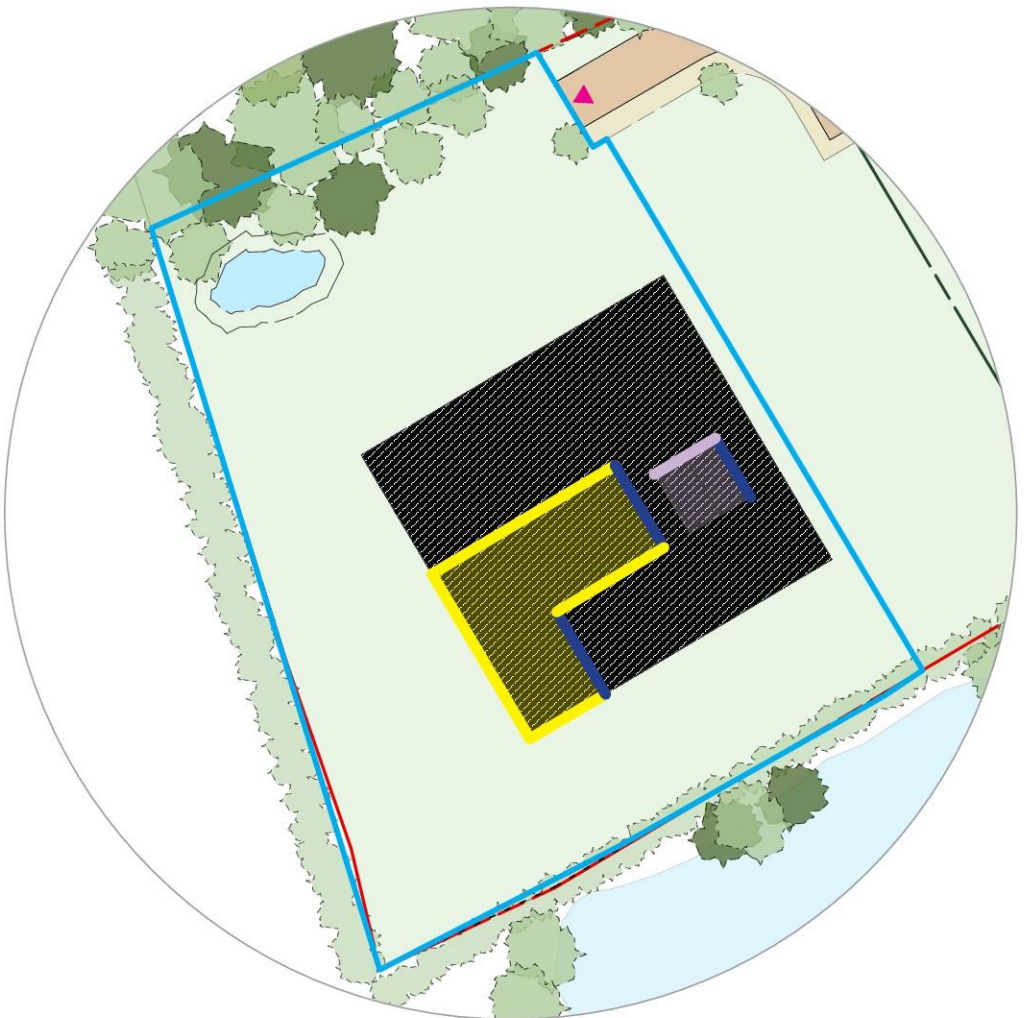
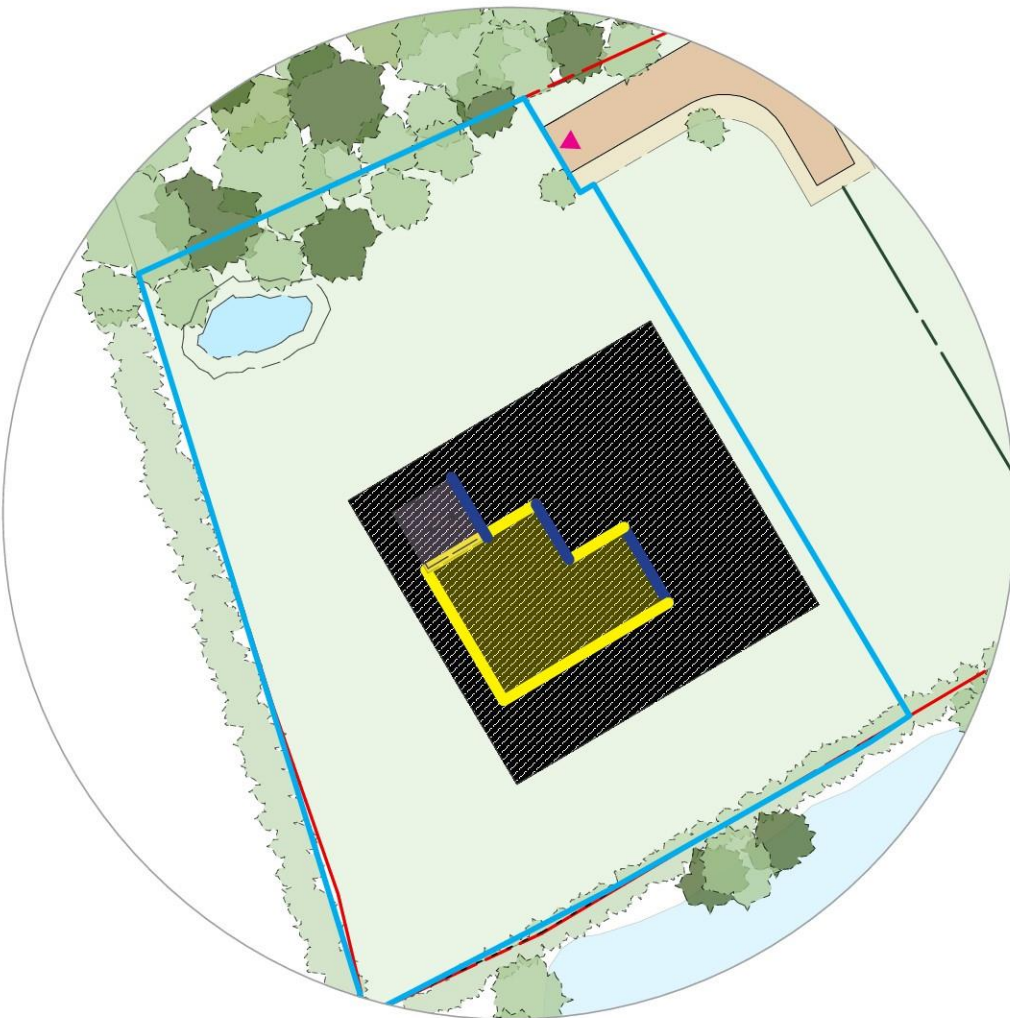
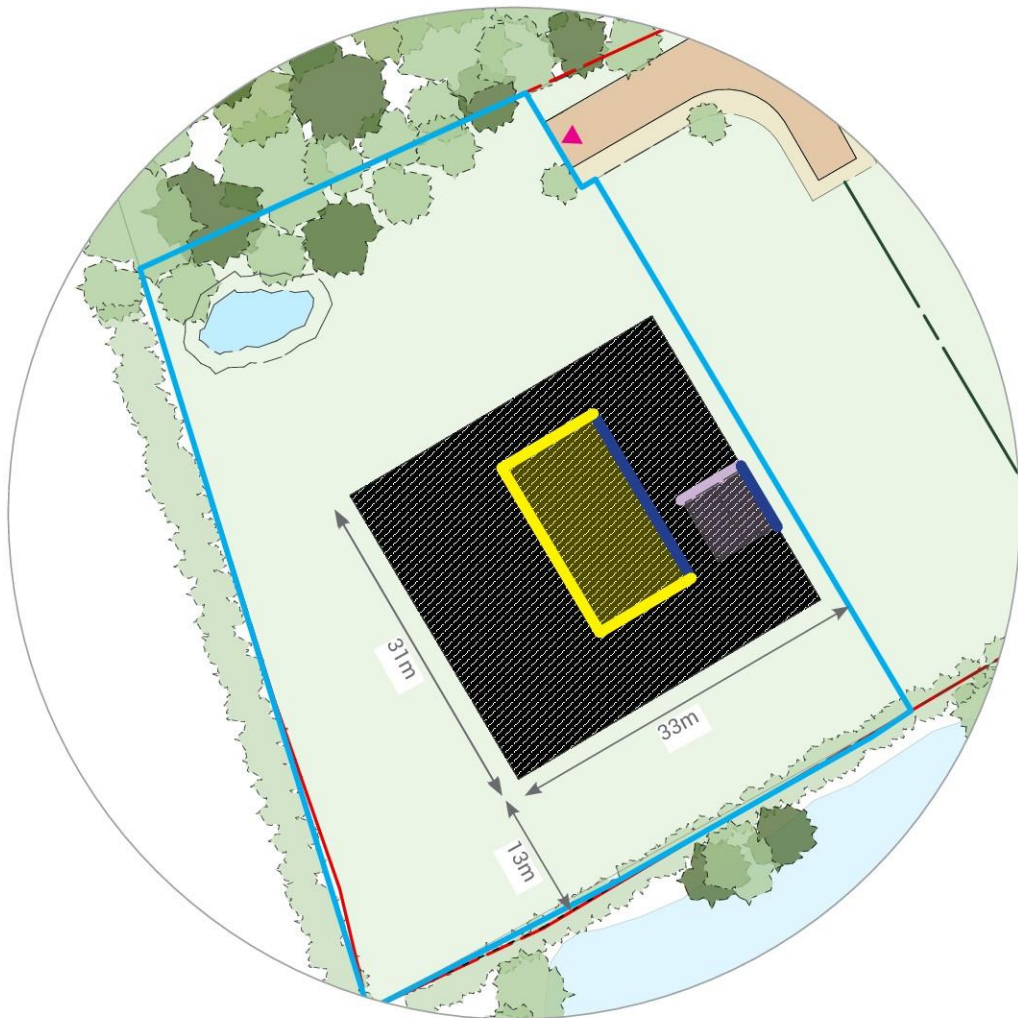
drainage to the attenuation pond on this plot, in line with the Drainage Strategy. The owner of Plot 1 will be responsible for maintenance of the pond and associated drainage system.

Renewables: Solar or PV panels or tiles are permissible and encouraged on south, southeast and southwest facing roofs or free standing in rear gardens. Heat pumps are allowed to side or rear elevations. All subject to planning permission as may be required.

Energy efficiency - Self-builders are strongly encouraged to use a suitable thermal modelling software (PHPP or IES) to accurately predict energy use. The target is furthermore encouraged for projected energy use and carbon dioxide emissions to be at least 10% below currently applicable national standards for energy performance, as applicable at the time of construction.

- KEY
- access
 - dwelling build area (area to build within)
 - possible dwelling footprint
 - possible garage footprint
 - glazing permitted
 - primary room glazing to be min. 11m from plot boundary
 - garage entrance
 - plot boundary
 - guidelines

Electric car charging points and rainwater harvesting as described on page 17.



Key Information

Plot number - 2
Unit type - Detached
Max. bedrooms - 5
Plot area - 1100m² (approx.)
Max. House GIA - 300m²

The house and garage footprints shown below are for illustrative purposes only. Whilst the front elevation of the main dwelling must align with the front of the build area, the main dwelling and garage designs are subject to individual choice within the fixed parameters and the approval of the LPA.

The number of bedrooms will affect the parking requirements, refer to the Local Authority's forthcoming Development Requirements SPD.

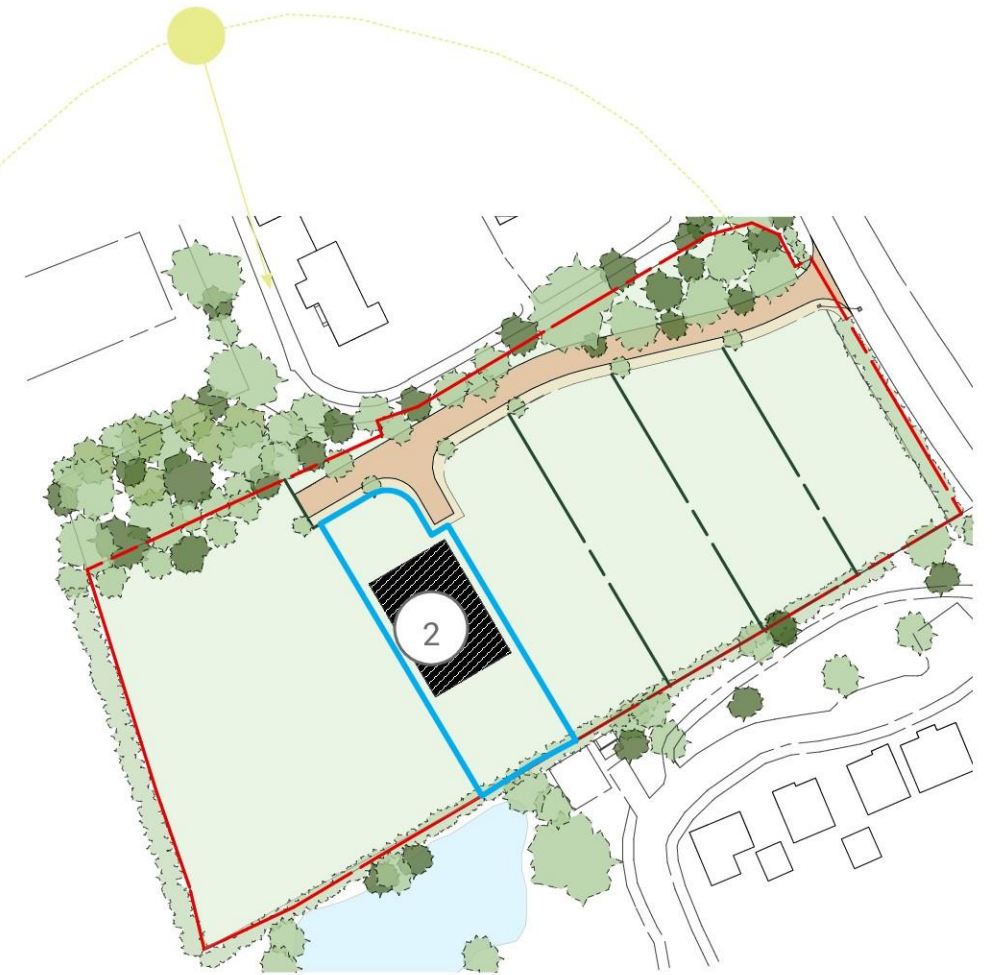
This plot will be connected to the mains services which run alongside the road in the service strip.

The surface water from roofs will be attenuated on site and discharged to a water course. Drives and patios will be paved using

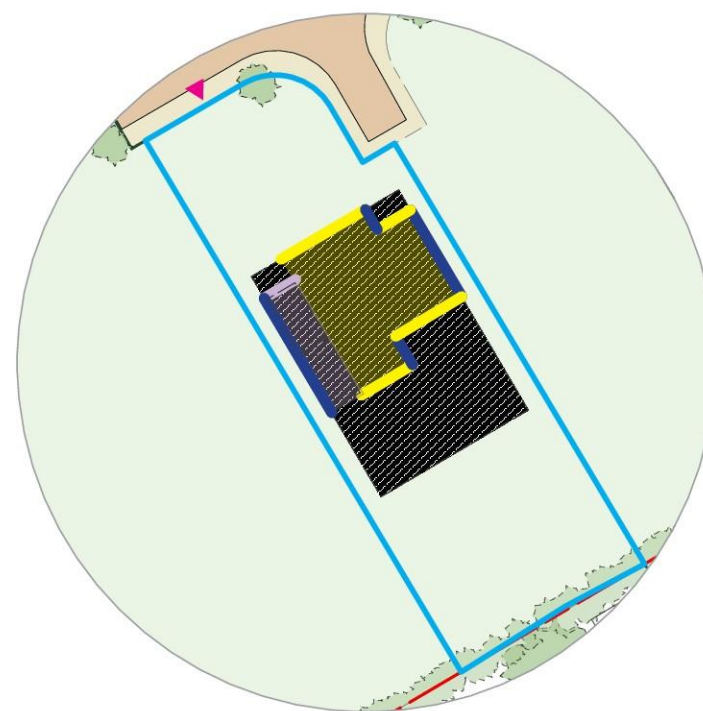
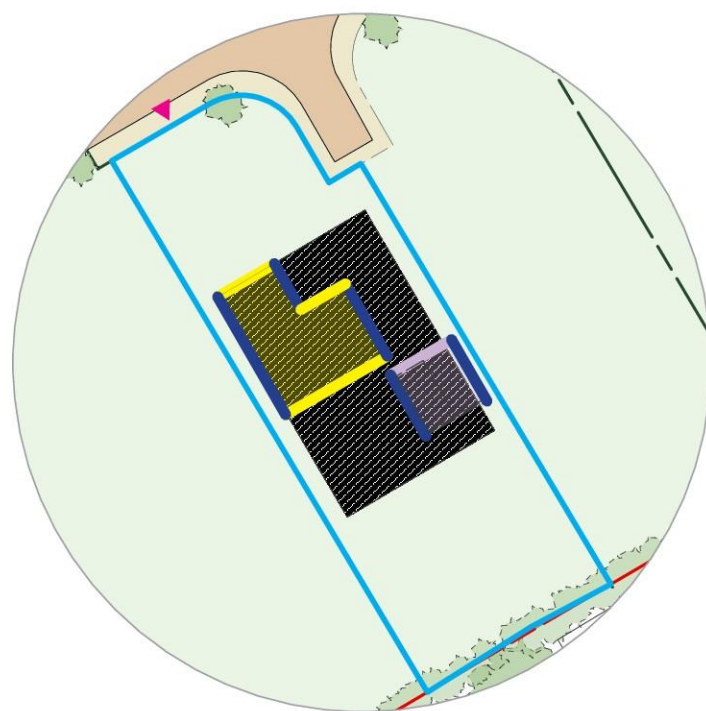
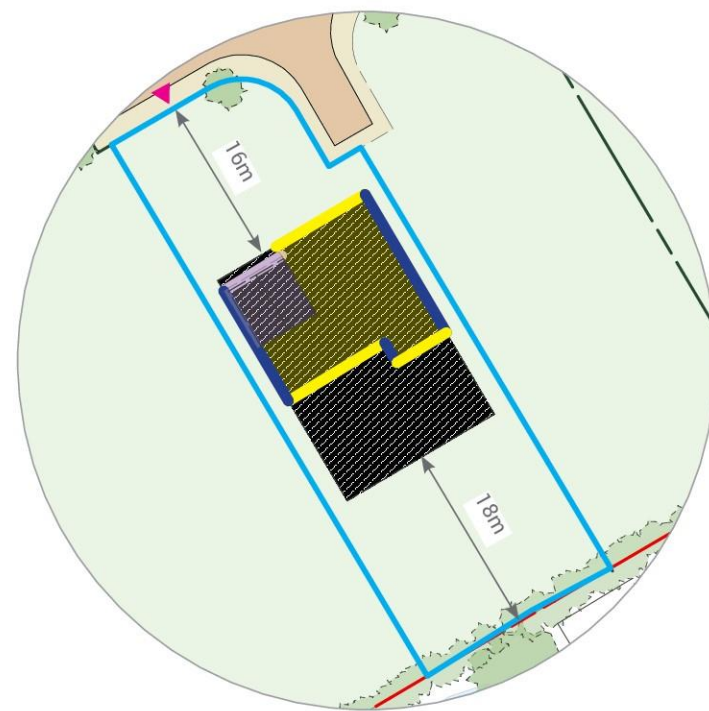
permeable materials in accordance with Local Authority guidelines.

Renewables: Solar or PV panels or tiles are permissible and encouraged on south, southeast and southwest facing roofs or free standing in rear gardens. Heat pumps are allowed to side or rear elevations. All subject to planning permission as may be required.

Energy efficiency - Self-builders are strongly encouraged to use a suitable thermal modelling software (PHPP or IES) to accurately predict energy use. The target is furthermore encouraged for projected energy use and carbon dioxide emissions to be at least 10% below currently applicable national standards for energy performance, as applicable at the time of construction.



Electric car charging points and rainwater harvesting as described on page 17.



KEY

- ▼ access
- dwelling build area (area to build within)
- possible dwelling footprint
- possible garage footprint
- glazing permitted
- primary room glazing at GF to be min. 11m from plot boundary, FF obscured glazing to non-primary rooms only
- garage entrance
- plot boundary
- guidelines

Key Information

Plot number - 3
Unit type - Detached
Max. bedrooms - 5
Plot area - 1100m² (approx.)
Max. House GIA - 300m²

The house and garage footprints shown below are for illustrative purposes only. Whilst the front elevation of the main dwelling must align with the front of the build area, the main dwelling and garage designs are subject to individual choice within the fixed parameters and the approval of the LPA.

The number of bedrooms will affect the parking requirements, refer to the Local Authority's forthcoming Development Requirements SPD.

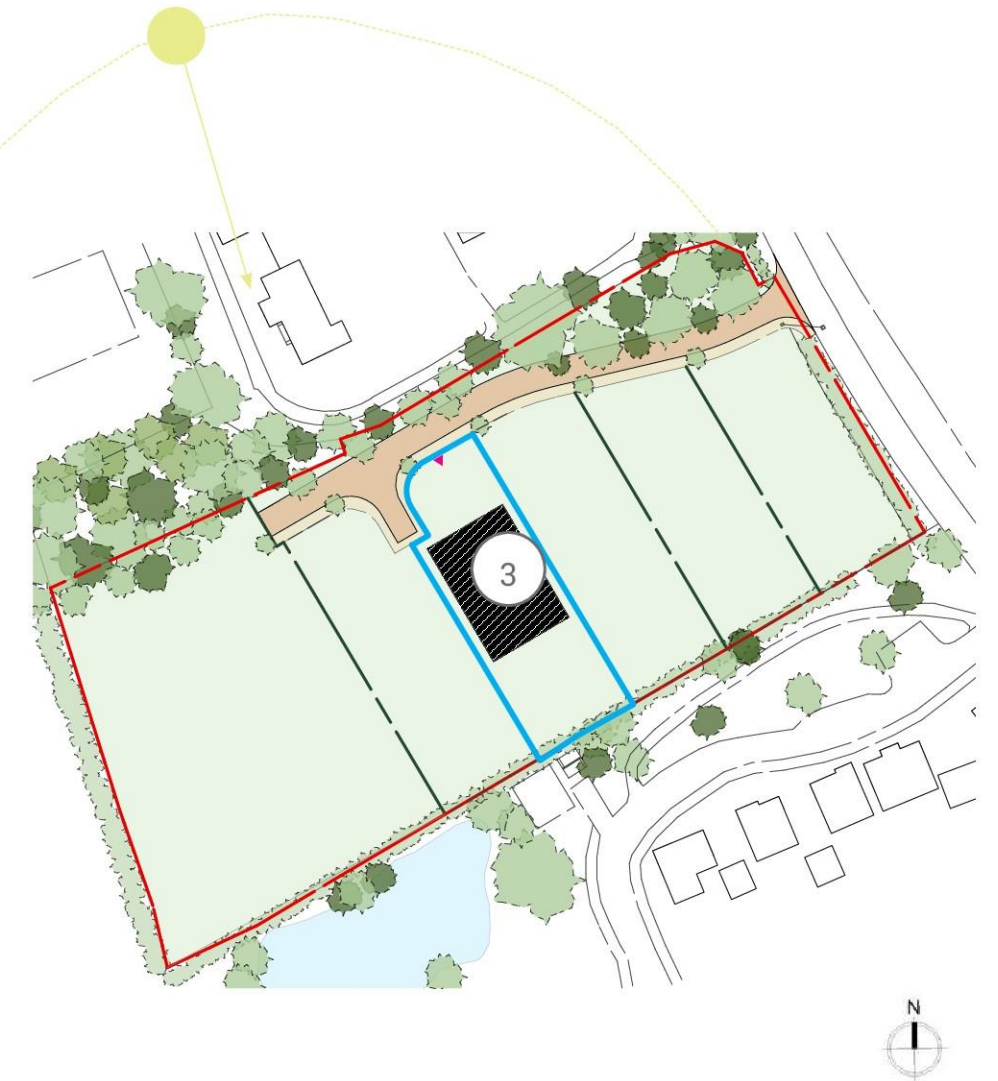
This plot will be connected to the mains services which run alongside the road in the service strip.

Drives and patios will be paved using permeable materials in accordance with Local Authority guidelines. Surface water will need

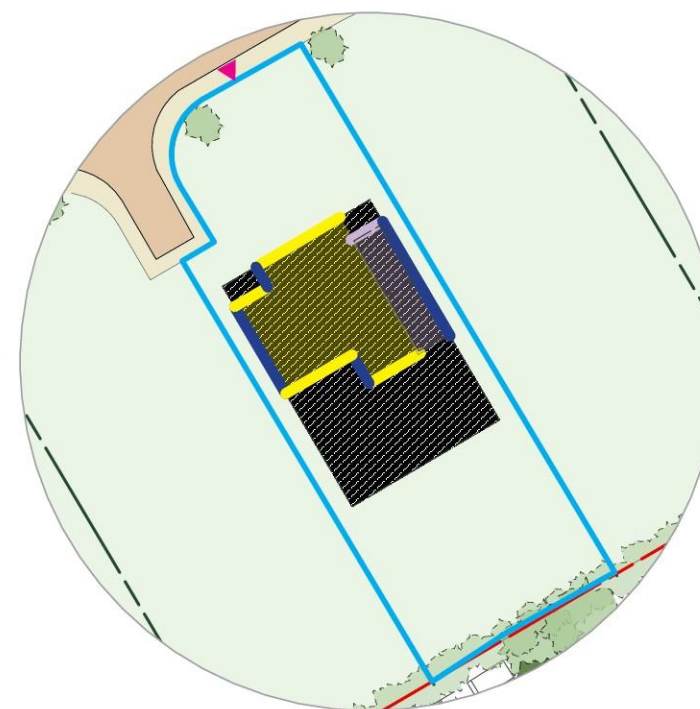
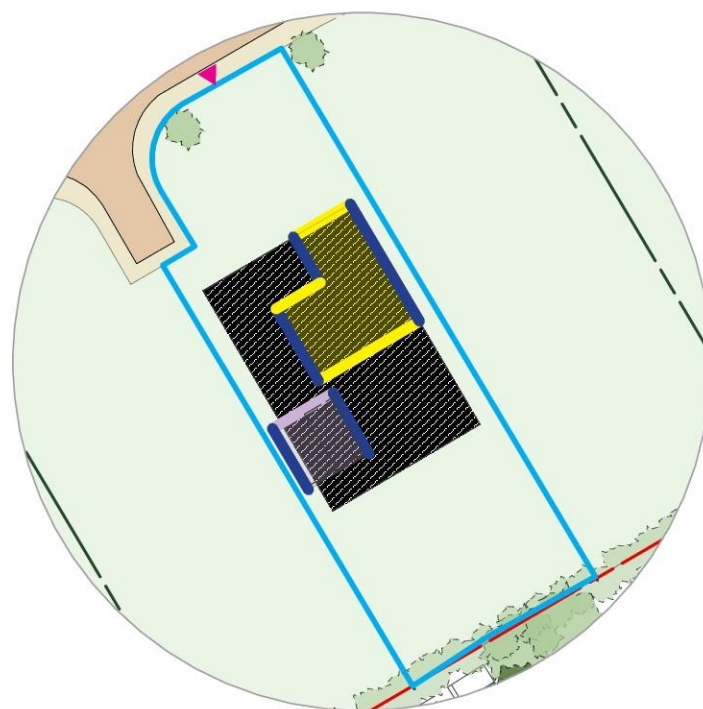
to be dealt with sustainably and attenuated on site, with no more than greenfield run-off rates draining off site, in line with the Drainage Strategy.

Renewables: Solar or PV panels or tiles are permissible and encouraged on south, southeast and southwest facing roofs or free standing in rear gardens. Heat pumps are allowed to side or rear elevations. All subject to planning permission as may be required.

Energy efficiency - Self-builders are strongly encouraged to use a suitable thermal modelling software (PHPP or IES) to accurately predict energy use. The target is furthermore encouraged for projected energy use and carbon dioxide emissions to be at least 10% below currently applicable national standards for energy performance, as applicable at the time of construction.



Electric car charging points and rainwater harvesting as described on page 17.



KEY

- ▼ access
- dwelling build area (area to build within)
- possible dwelling footprint
- possible garage footprint
- glazing permitted
- primary room glazing at GF to be min. 11m from plot boundary, FF obscured glazing to non-primary rooms only
- garage entrance
- plot boundary
- guidelines

Key Information

Plot number - 4
Unit type - Detached
Max. bedrooms - 5
Plot area - 1100m² (approx.)
Max. House GIA - 300m²

The house and garage footprints shown below are for illustrative purposes only. Whilst the front elevation of the main dwelling must align with the front of the build area, the main dwelling and garage designs are subject to individual choice within the fixed parameters and the approval of the LPA.

The number of bedrooms will affect the parking requirements, refer to the Local Authority's forthcoming Development Requirements SPD.

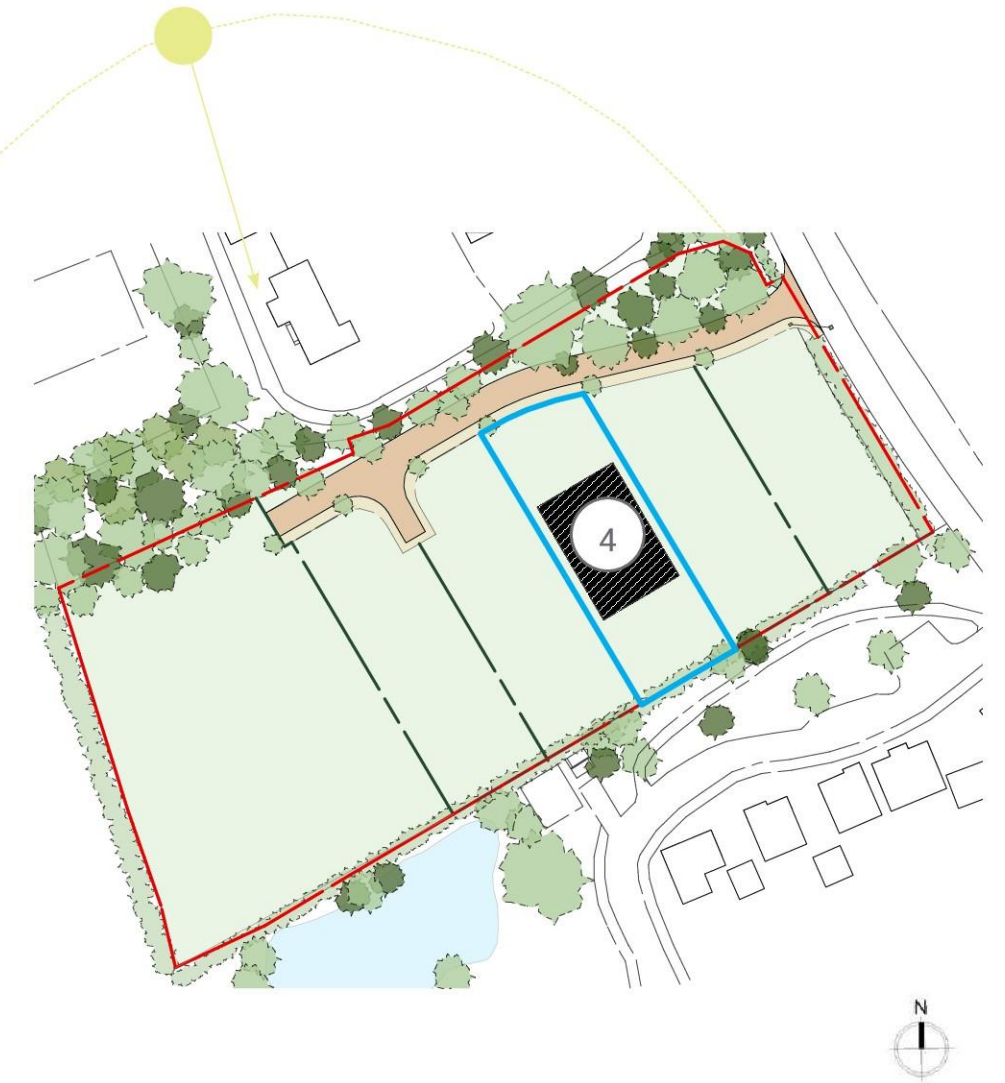
This plot will be connected to the mains services which run alongside the road in the service strip.

Drives and patios will be paved using permeable materials in accordance with Local Authority guidelines. Surface water will need

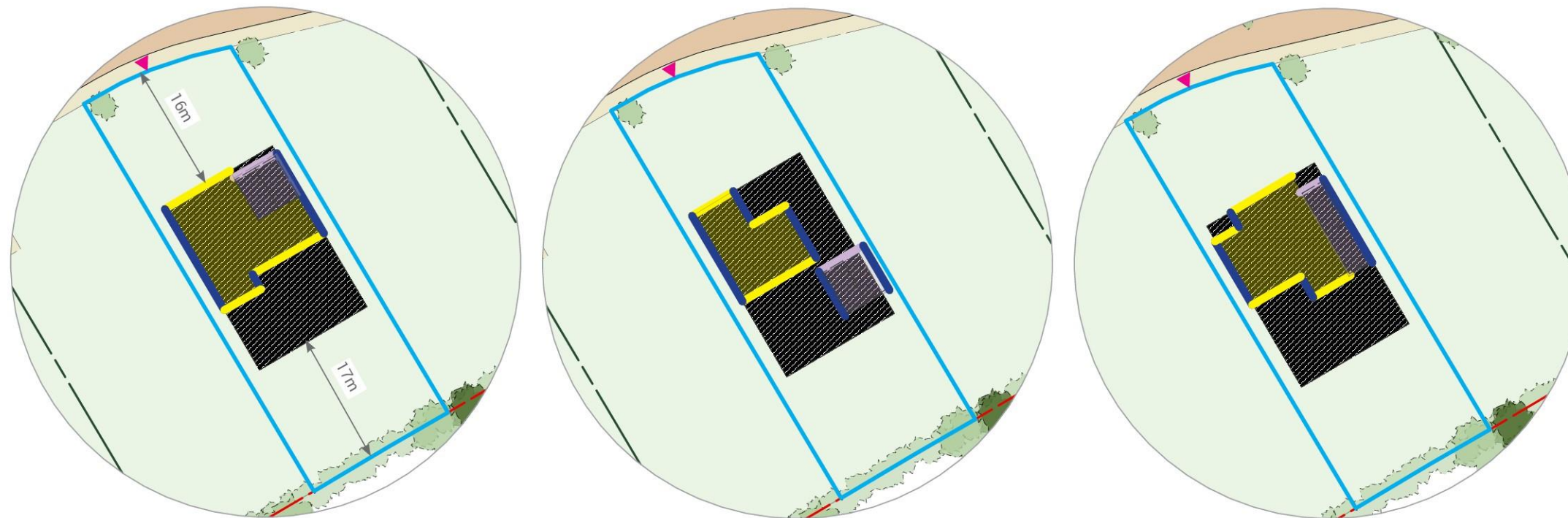
to be dealt with sustainably and attenuated on site, with no more than greenfield run-off rates draining off site, in line with the Drainage Strategy.

Renewables: Solar or PV panels or tiles are permissible and encouraged on south, southeast and southwest facing roofs or free standing in rear gardens. Heat pumps are allowed to side or rear elevations. All subject to planning permission as may be required.

Energy efficiency -Self-builders are strongly encouraged to use a suitable thermal modelling software (PHPP or IES) to accurately predict energy use. The target is furthermore encouraged for projected energy use and carbon dioxide emissions to be at least 10% below currently applicable national standards for energy performance, as applicable at the time of construction.



Electric car charging points and rainwater harvesting as described on page 17.



KEY

- ▼ access
- dwelling build area (area to build within)
- possible dwelling footprint
- possible garage footprint
- glazing permitted
- primary room glazing at GF to be min. 11m from plot boundary, FF obscured glazing to non-primary rooms only
- garage entrance
- plot boundary
- - guidelines

Key Information

Plot number - 5
Unit type - Detached
Max. bedrooms - 5
Plot area - 1000m² (approx.)
Max. House GIA - 300m²

The house and garage footprints shown below are for illustrative purposes only. Whilst the front elevation of the main dwelling must align with the front of the build area, the main dwelling and garage designs are subject to individual choice within the fixed parameters and the approval of the LPA.

The number of bedrooms will affect the parking requirements, refer to the Local Authority's forthcoming Development Requirements SPD.

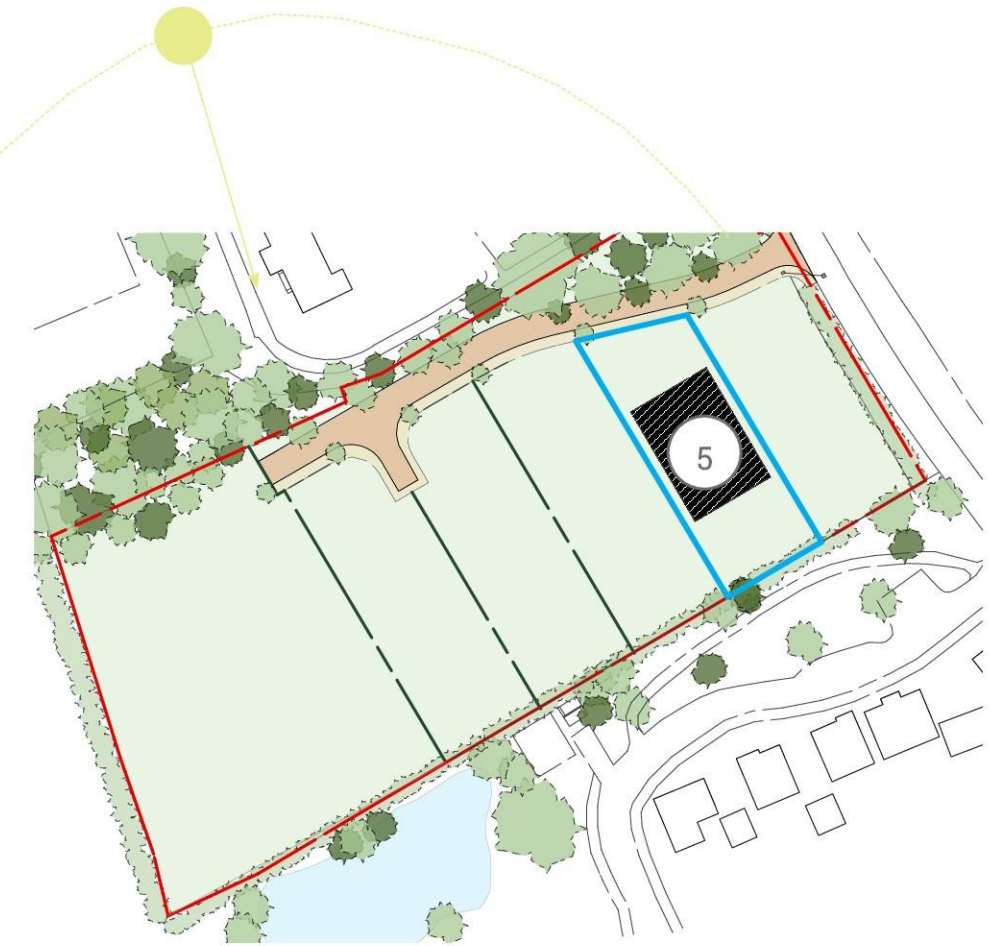
This plot will be connected to the mains services which run alongside the road in the service strip.

Drives and patios will be paved using permeable materials in accordance with Local Authority guidelines. Surface water will need

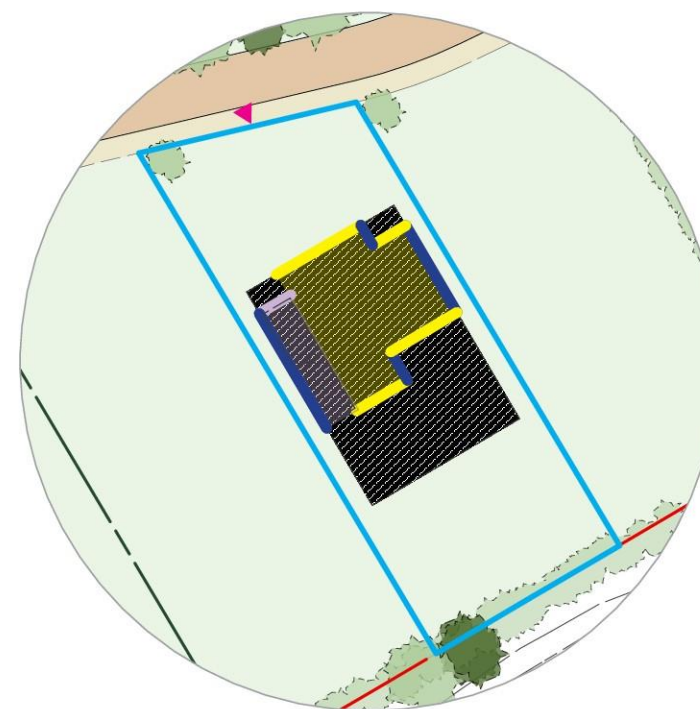
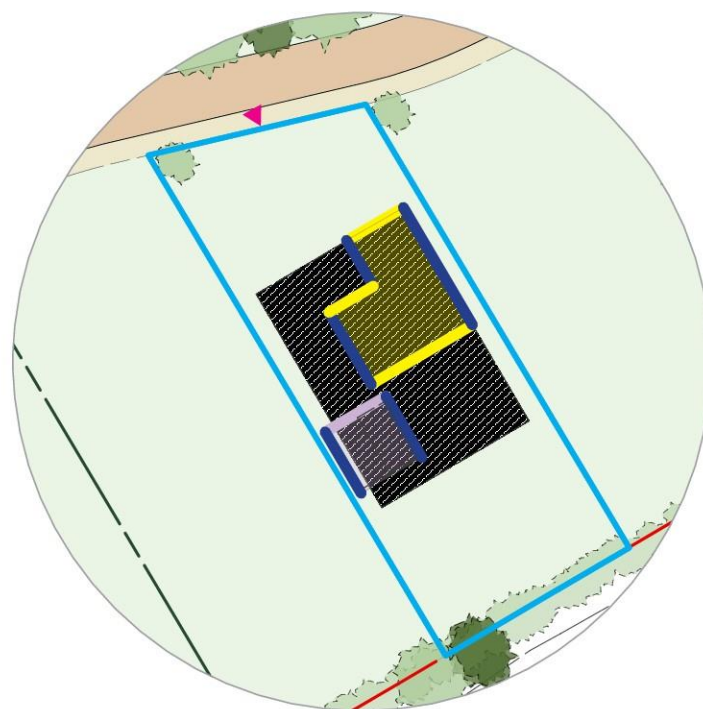
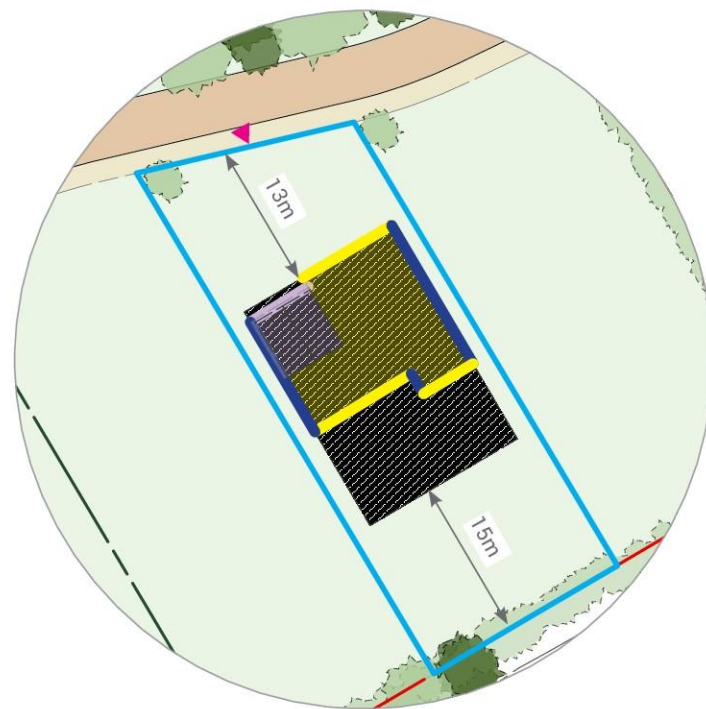
to be dealt with sustainably and attenuated on site, with no more than greenfield run-off rates draining off site, in line with the Drainage Strategy.

Renewables: Solar or PV panels or tiles are permissible and encouraged on south, southeast and southwest facing roofs or free standing in rear gardens. Heat pumps are allowed to side or rear elevations. All subject to planning permission as may be required.

Energy efficiency - Self-builders are strongly encouraged to use a suitable thermal modelling software (PHPP or IES) to accurately predict energy use. The target is furthermore encouraged for projected energy use and carbon dioxide emissions to be at least 10% below currently applicable national standards for energy performance, as applicable at the time of construction.



Electric car charging points and rainwater harvesting as described on page 17.



KEY

- ▼ access
- dwelling build area (area to build within)
- possible dwelling footprint
- possible garage footprint
- glazing permitted
- primary room glazing at GF to be min. 11m from plot boundary, FF obscured glazing to non-primary rooms only
- garage entrance
- plot boundary
- guidelines

Key Information

Plot number - 6
Unit type - Detached
Max. bedrooms - 5
Plot area - 1000m² (approx.)
Max. House GIA - 260m²

The house and garage footprints shown below are for illustrative purposes only. Whilst the front elevation of the main dwelling must align with the front of the build area, the main dwelling and garage designs are subject to individual choice within the fixed parameters and the approval of the LPA.

The number of bedrooms will affect the parking requirements, refer to the Local Authority's forthcoming Development Requirements SPD.

This plot will be connected to the mains services which run alongside the road in the service strip.

Note that the build area is kept 3m away from the East boundary to allow space for the roadside hedge, which is to be retained as part of the development. Hedge along East boundary to be retained and maintained to minimum height of 2m. Replacement planting should take place when necessary to ensure the hedge does not thin out over time.

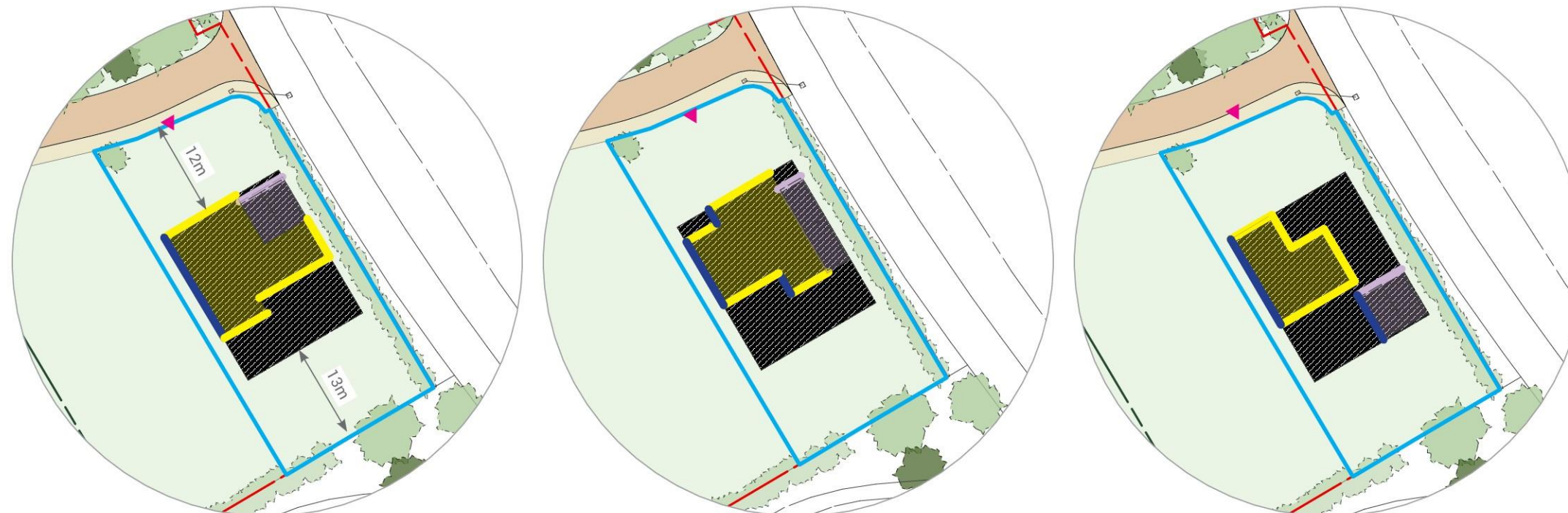
Drives and patios will be paved using permeable materials in accordance with Local Authority guidelines. Surface water will need to be dealt with sustainably and attenuated on site, with no more than greenfield run-off rates draining off site, in line with the Drainage Strategy.

Renewables: Solar or PV panels or tiles are permissible and encouraged on south, southeast and southwest facing roofs or free standing in rear gardens. Heat pumps are allowed to side or rear elevations. All subject to planning permission as may be required.

Energy efficiency - Self-builders are strongly encouraged to use a suitable thermal modelling software (PHPP or IES) to accurately predict energy use. The target is furthermore encouraged for projected energy use and carbon dioxide emissions to be at least 10% below currently applicable national standards for energy performance, as applicable at the time of construction.



Electric car charging points and rainwater harvesting as described on page 17.



KEY

- ▼ access
- dwelling build area (area to build within)
- possible dwelling footprint
- possible garage footprint
- glazing permitted
- primary room glazing at GF to be min. 11m from plot boundary, FF obscured glazing to non-primary rooms only
- garage entrance
- plot boundary
- - guidelines